

BYLAW # 3277

Whispering Ridge Area Structure Plan Amendment Bylaw

A bylaw of the County of Grande Prairie No. 1 in the Province of Alberta for the purpose of amending County Bylaw #3135 - Whispering Ridge Area Structure Plan.

WHEREAS: the Council of the County of Grande Prairie No. 1 has adopted the Whispering Ridge Area Structure Plan Bylaw #3135.

WHEREAS: pursuant to the Municipal Government Act, RSA 2000, c. M-26 and amendments thereto, a Council may pass bylaws for Area Structure Plans; and

NOW THEREFORE, under the authority of the Municipal Government Act, the Council of the County of Grande Prairie No. 1, in the Province of Alberta, hereby enacts as follows:

1. That Bylaw #3135 - Whispering Ridge Area Structure Plan be amended as follows:
 - 1.1 Delete 'Table 4.1 Land Use Summary' in its entirety and replace with the following:

Table 4.1 - Land Use Summary

Land Use Category	Area (ha)	Percent
Gross Area	64.7	
Less Existing Road ROW	0.9	
Net Developable Area	63.8	100.0
Residential	36.4	57.1
Single Family	32.8	51.4
Multi-Family	3.6	5.7
Commercial	1.1	1.7
Roadways	16.6	26.0
Arterial Widening	0.2	0.3
Collector Roads	4.9	7.7
Local Roads	11.5	18.0
Lanes	0.0	0.0
Stormwater Management (PUL)	1.4	2.2
Municipal Reserve	8.3	13.0
Linear Parks and Green Space	7.1	11.1
Storm Pond MR ²	1.2	1.9

- 1.2 Delete 'Table 4.2 Dwelling Unit Yield and Population Generation' in its entirety and replace with the following:

Table 4.2 – Dwelling Unit Yield and Population Generation

		Total
Developable Residential Area		36.4 ha
Single Family		32.8 ha
Multi-Family		3.6 ha
Total Residential Units		791
Single Family	32.8 ha @ 490 m ² /unit ³	669
Multi-Family	3.6 ha @ 34 u/net ha ⁴	122
Total Population		2446
Single Family	669 @ 3.2 ppu	2141
Multi-Family	122 @ 2.5 ppu	305

1.3 Delete Section 4.4 in its entirety and replace with the following:

“4.4 Municipal Reserve

In accordance with the Municipal Government Act, a maximum of 10% of the Plan area (8.0 ha) may be provided as Municipal Reserve (MR) at the time of subdivision. However, as shown in Table 4.1 MR dedication in the neighbourhood exceeds 10% as it also includes MR that was deferred as a result of subdivision in the adjacent neighbourhood to the north⁵. It is proposed that MR be allocated in the Plan area as follows:

- A linear park system that consists of a large central open space running north-south through the neighbourhood and greenway connections to the storm pond;
- A corridor along the east boundary of the neighbourhood to provide buffering between residential development and adjacent industrial sites;
- Buffer spaces to the rear of lots backing on to the collector at the west entrance to the neighbourhood; and
- The lands surrounding the storm pond may be dedicated as MR as it contributes to the open space network and may accommodate trail linkages. The amount of land to accommodate this dedication is to be determined once the pond size has been confirmed through detailed design. Only those portions of wet ponds that are located above the 1 :5 year flood may be eligible for MR credit.

All MR will be landscaped, and trails and park equipment installed, in accordance with County standards at the developer's expense⁶.”

1.4 Delete Section 5.1 in its entirety and replace with the following:

“5.1 Road Network

As illustrated in Map 5, the Plan area is to be accessed from four points as follows:

- Two connections from the developed portion of Whispering Ridge to the north (105 and 107 Streets);
- A connection at the south end into Arbour Hills (105 Street); and
- A connection to RGE RD 62 (108 Street) at the west side of the Plan area (144 Avenue).

RGE RD 62 (108 Street) is the only arterial roadway serving the area, located along the west boundary of the Plan area. Additional right-of-way along the east boundary of RGE RD 62 (108 Street) is provided to allow for its future upgrading/widening.

Two major collector roadways serve the Plan area:

- 105 Street connects with Whispering Ridge to the north (ultimately connecting to HWY 2 further to the east via 149 Avenue), with Arbour Hills to the south; and
- 144 Avenue, which runs east-west and connects RGE RD 62 (108 Street) with the 105 Street (north-south) collector.

All roads in the Plan area are to be constructed to a paved, urban standard in accordance with County specifications at the expense of the developer.

In order to facilitate pedestrian and bicycle movement within the Plan area, and provide linkages to adjacent areas, a trail system will be developed within the linear park system.

Access to the Country Residential lot in the northwest corner of the Plan area currently has access off of RGE RD 62 (108 Street). At such time as this site is redeveloped for urban residential purposes, it is assumed that internal road access would be provided from the north.

- 1.5 Delete Section 6.1 in its entirety and replace with the following:

“6.1 Phasing

As illustrated in Map 9, the phasing of development will commence at the northwest corner of the Plan area through the extension of infrastructure from the existing Whispering Ridge neighbourhood.

The timing of development will be dependent on market conditions.”

- 1.6 Delete Maps 1,2,3,4,5,6,7,8,9,10 in their entirety and replaced with Maps 1,2,3,4,5,6,7,8,9,10 as shown in Schedule A.

INTERPRETATION

- 2. This Bylaw shall be cited as the "Amendment to Whispering Ridge Area Structure Plan Amendment Bylaw".
- 3. Headings in this Bylaw are for reference purposes only.
- 4. Words in the masculine gender will include the feminine gender whenever the context requires and vice versa.
- 5. Words in the singular shall include the plural or vice versa whenever the context so requires.

SEVERABILITY

- 6. Every provision of this bylaw is independent of all other provisions and if any provision is declared invalid by a Court, then the invalid provisions shall be severed and the remainder provisions shall remain valid and enforceable.

EFFECTIVE DATE

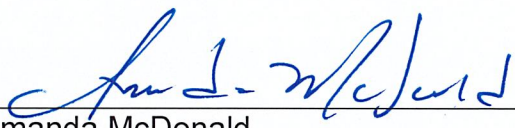
- 7. This Bylaw shall come into force and effect on the third and final reading thereof.

PUBLIC HEARING held this 23 day of March, 2026.

Read a FIRST time this 23 day of March, 2026.

Read a SECOND time this 23 day of March, 2026.

Read a THIRD time and finally passed this 23 day of March, 2026.



 Amanda McDonald
 Reeve



 Joulia Whittleton
 County Manager

ATTACHMENTS

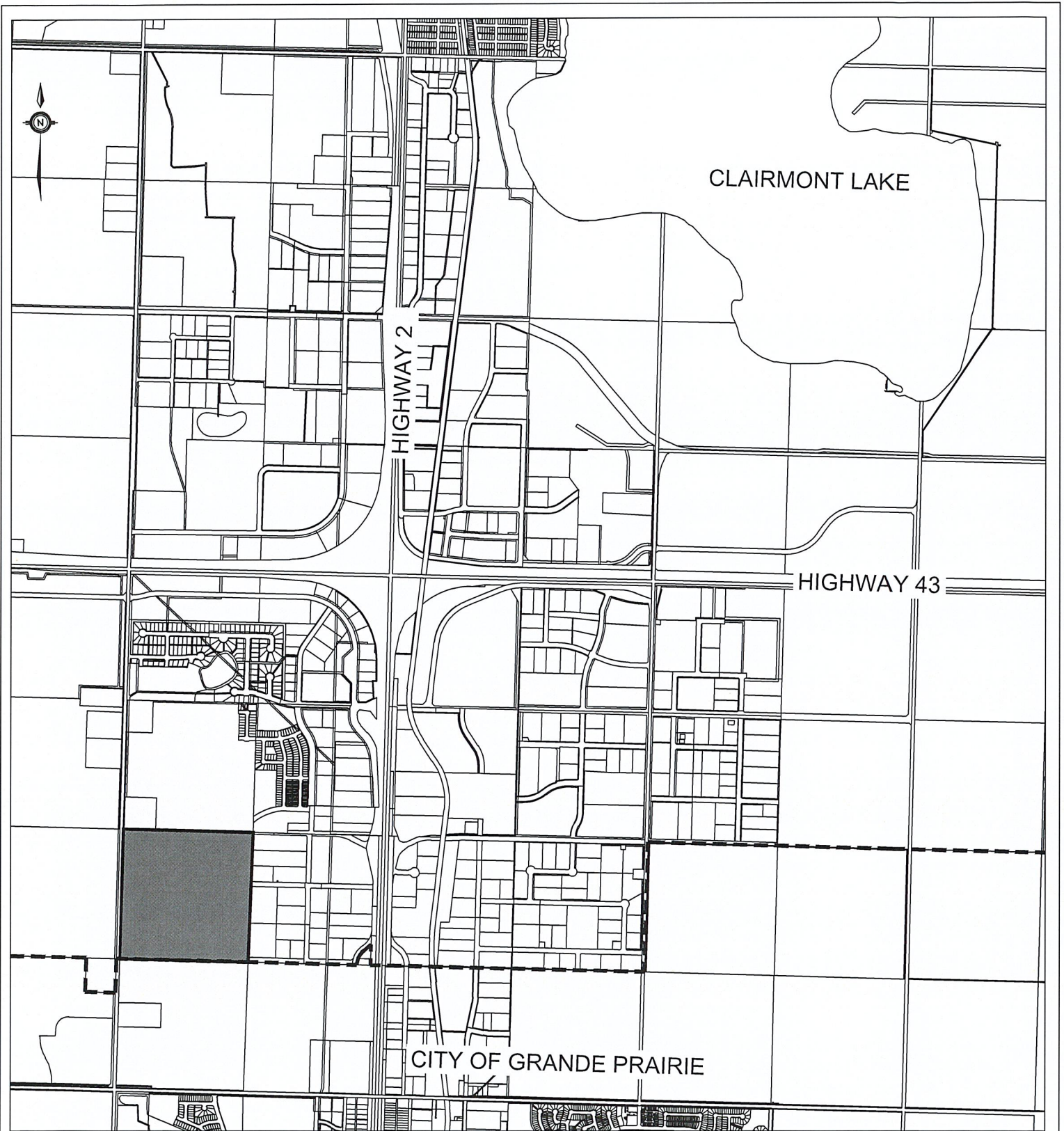
Schedule A - Maps 1 - 10

BYLAW # 3277

Amendment to Bylaw # 3135- Whispering Ridge Area Structure Plan

Schedule A – Updated Maps

1. Location
2. Existing Conditions
3. Topography
4. Land Use
5. Transportation
6. Water Distribution System
7. Sanitary Sewer System
8. Storm Sewer System
9. Tentative Phasing
10. Zoning



LEGEND



PLAN BOUNDARY

**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

MAP 1 - LOCATION

SCALE : N.T.S.

January 2026

2106-020-ASP





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WHISPERING RIDGE AREA STRUCTURE PLAN
 COUNTY OF GRANDE PRAIRIE

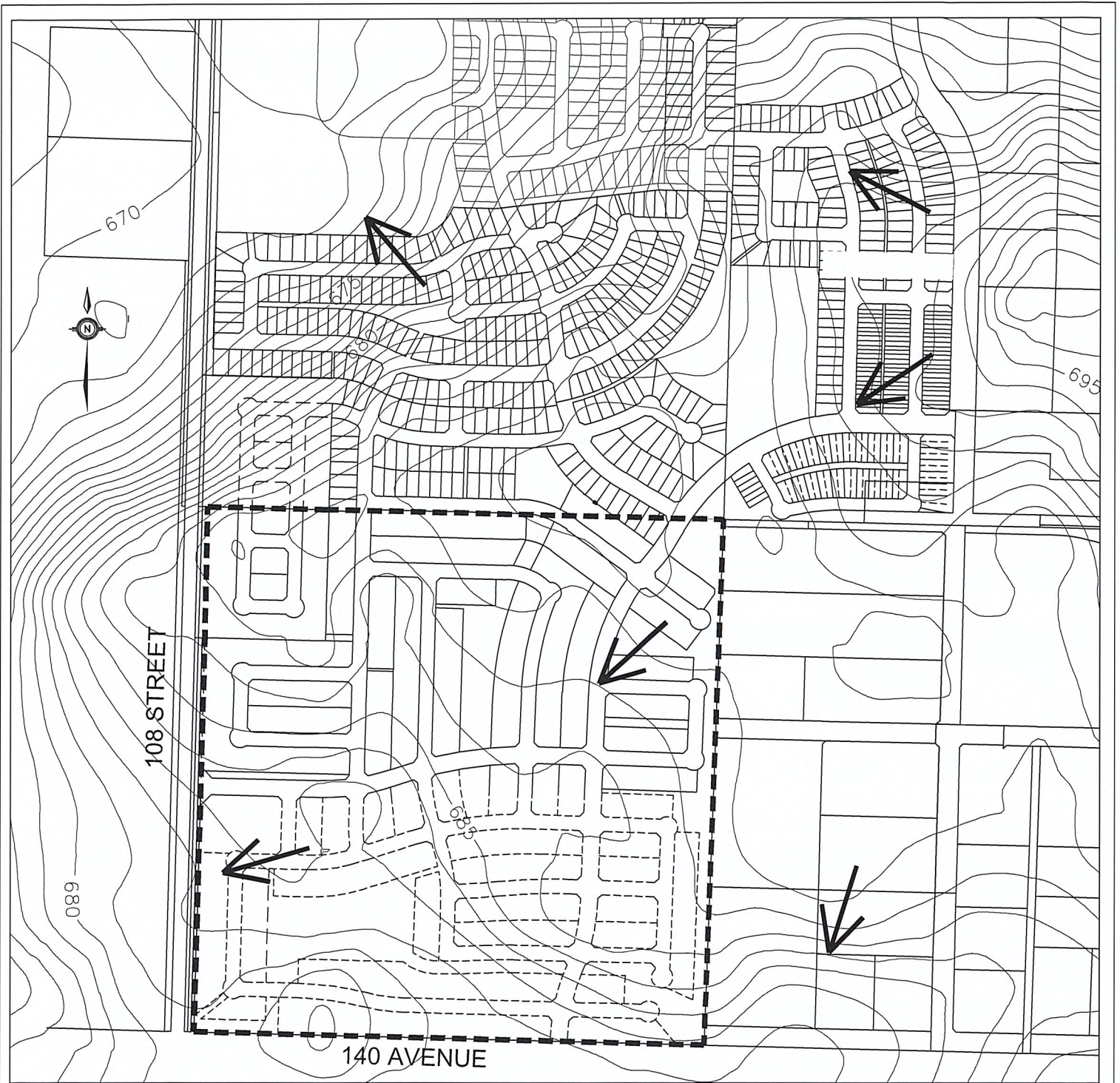
----- PLAN BOUNDARY

MAP 2 - EXISTING CONDITIONS

SCALE : N.T.S.



January 2026





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**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

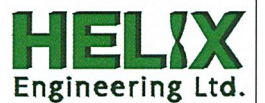
- 685 ELEVATION
-  DIRECTION OF FLOW
-  PLAN BOUNDARY

MAP 3 - TOPOGRAPHY

SCALE : N.T.S.

January 2026

2106-020-ASP





LEGEND

**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

- RURAL RESIDENTIAL
- COMMERCIAL
- MULTI-FAMILY
- PLAN BOUNDARY

- STORM POND
- MUNICIPAL RESERVE

Note: Some MR may be designated as PUL due to presence of underground stormwater infrastructure.

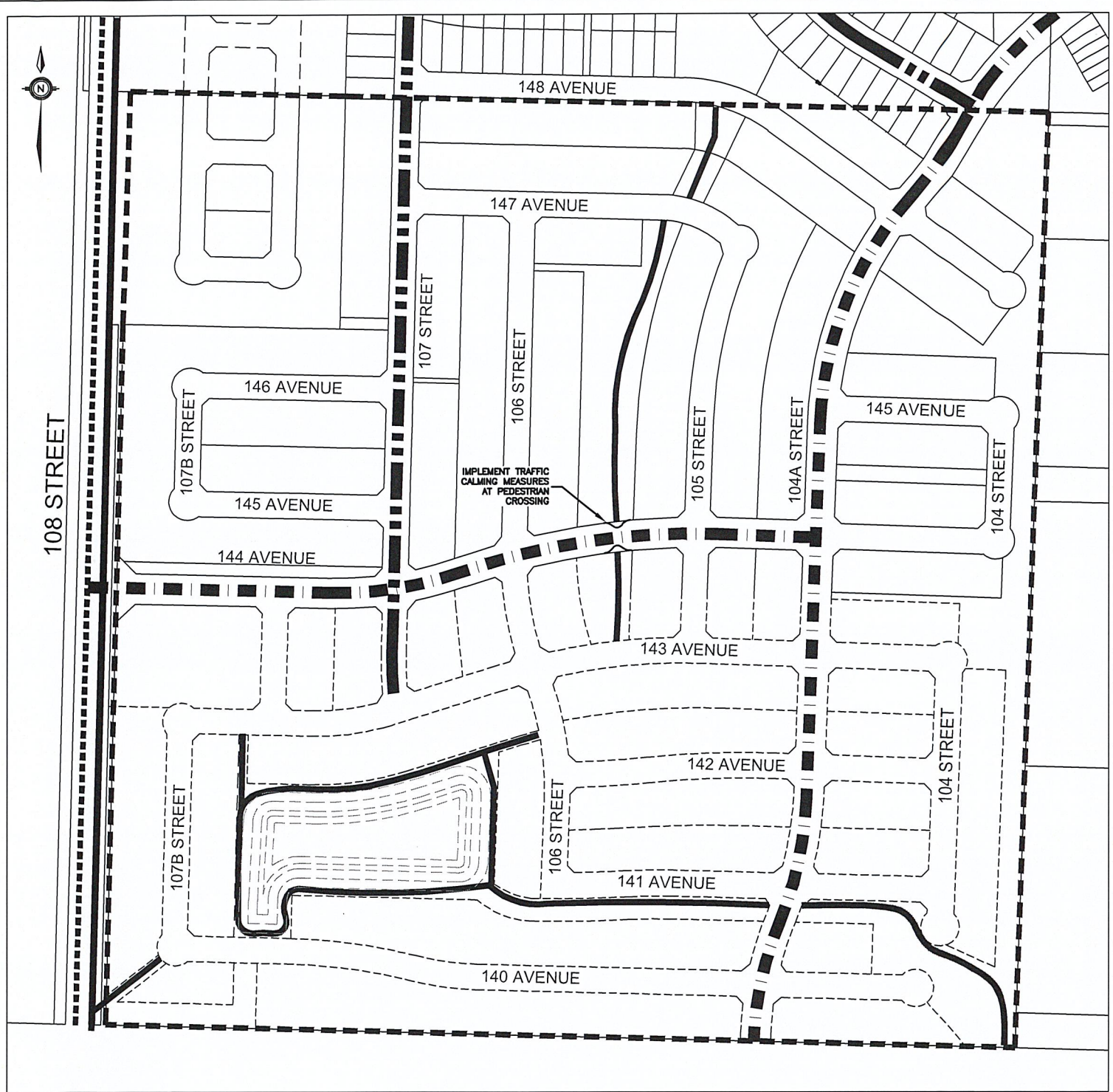
MAP 4 -LAND USE

SCALE : N.T.S.

January 2026








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LEGEND

**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

-  ARTERIAL
-  MAJOR COLLECTOR (13.0m CARRIAGE WAY)
-  MINOR COLLECTOR (11.0m CARRIAGE WAY)
-  LOCAL / LANE (10.0m ROW / 6.0m PAVED)
-  TRAIL
-  TRAFFIC CALMING DESIGN
-  PLAN BOUNDARY

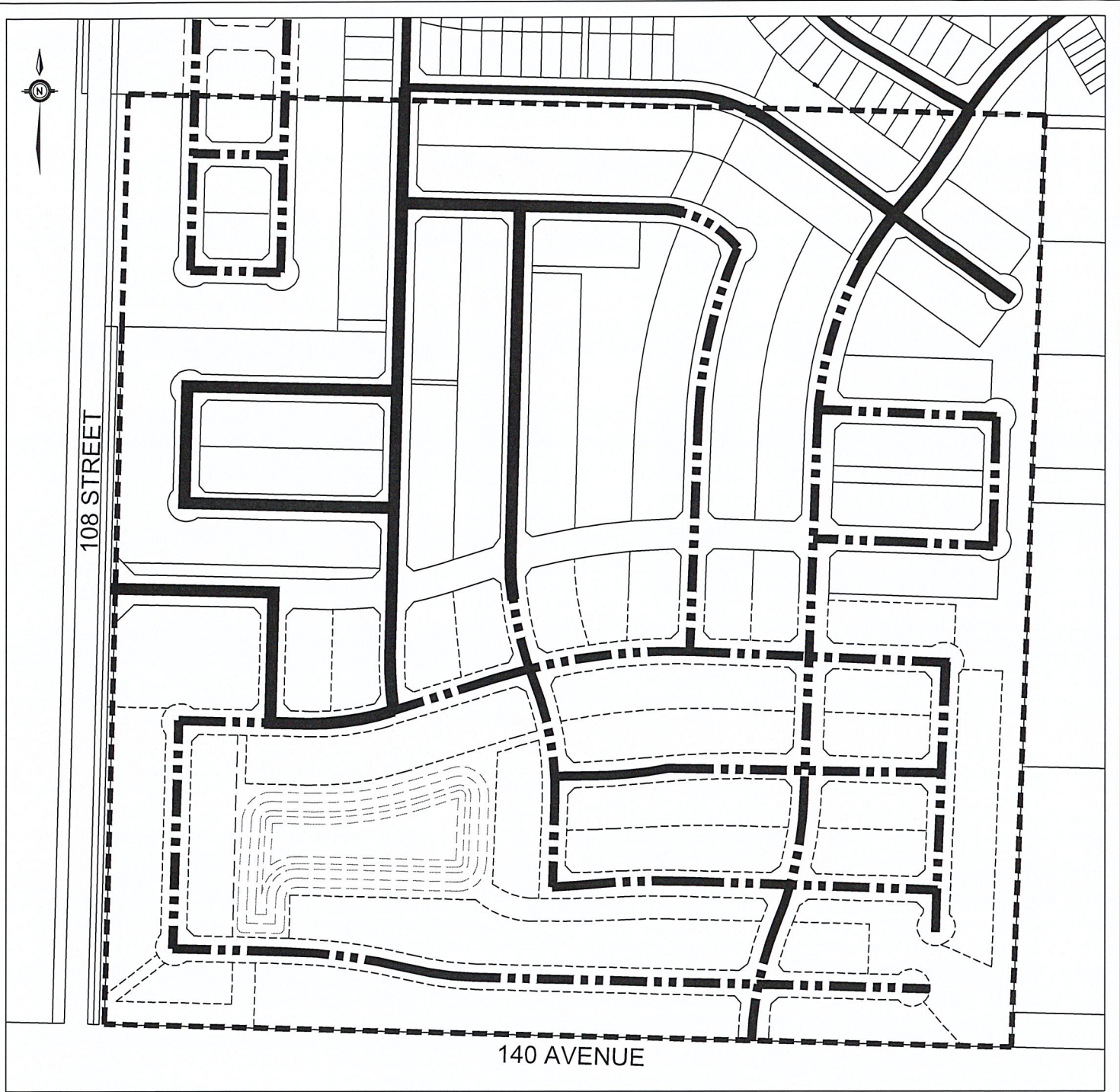
MAP 5 - TRANSPORTATION

SCALE : N.T.S.

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**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

-  PROPOSED WATERLINE
-  EXISTING WATERLINE
-  PLAN BOUNDARY

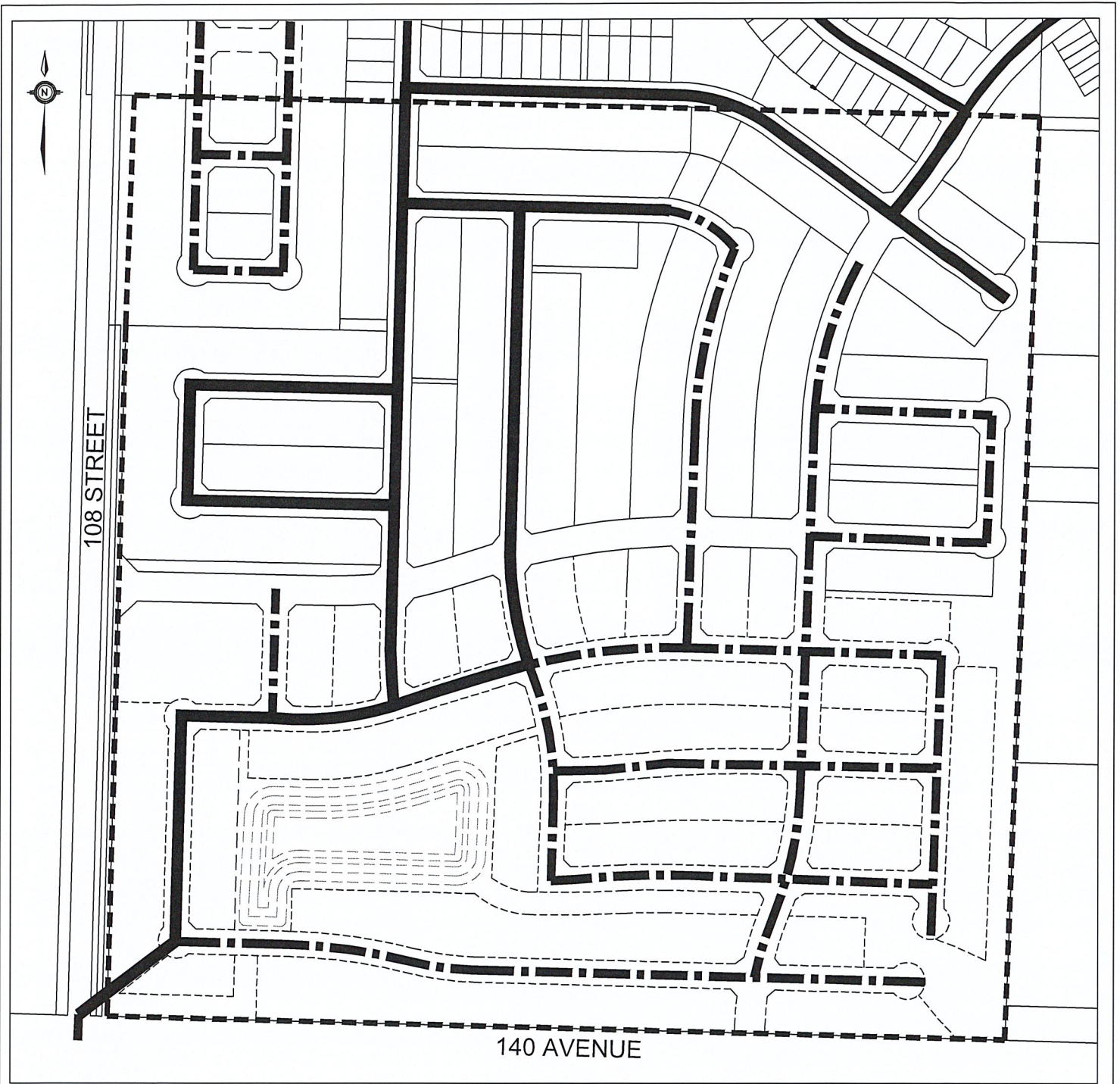
MAP 6 - WATER DISTRIBUTION SYSTEM

SCALE : N.T.S.

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**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

-  PROPOSED SANITARY
-  EXISTING SANITARY

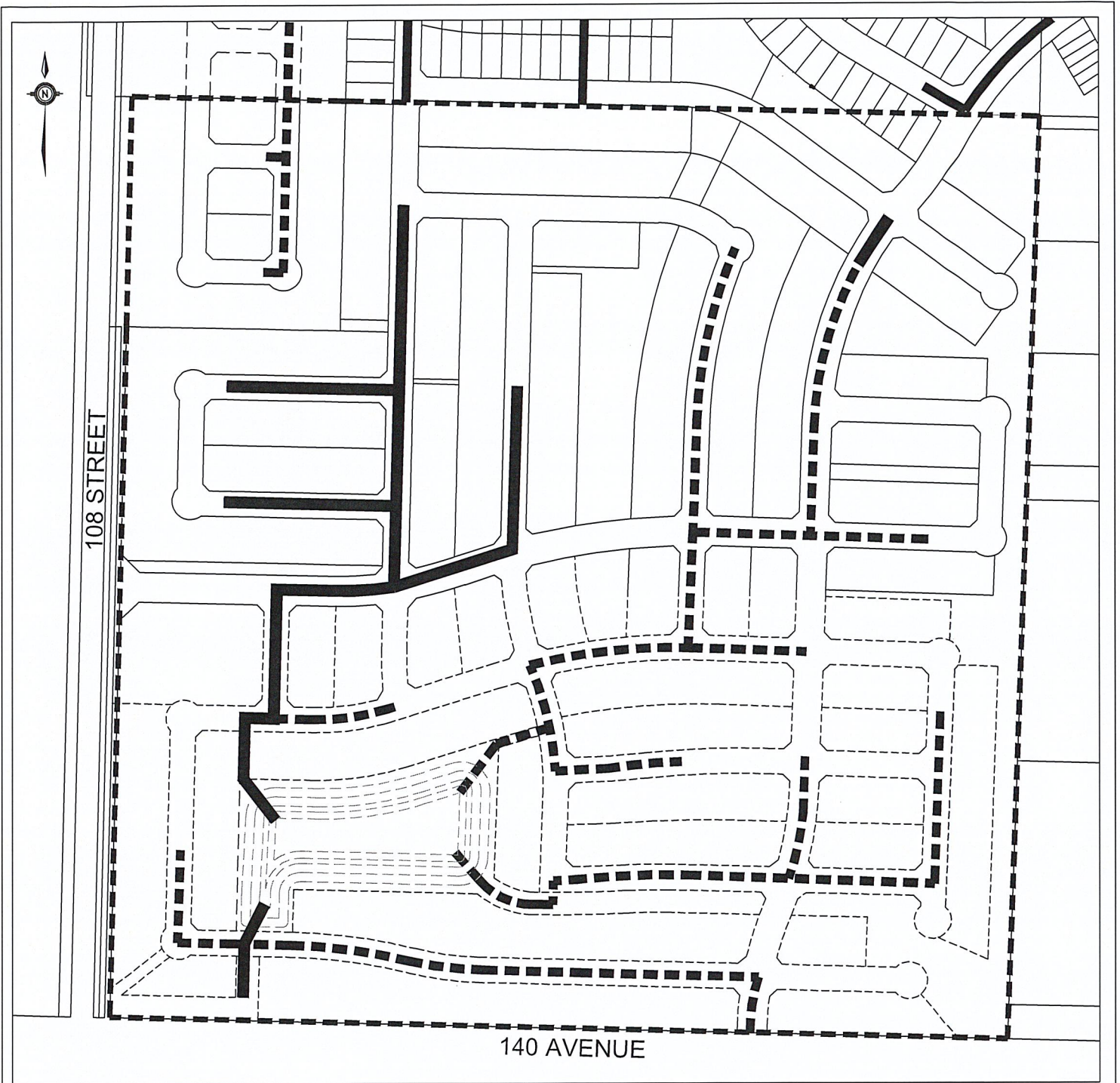
 PLAN BOUNDARY

MAP 7 - SANITARY SEWER SYSTEM

SCALE : N.T.S.

January 2026





LEGEND

**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

- PROPOSED STORM
- EXISTING STORM
- - - - - PLAN BOUNDARY

MAP 8 - STORM SEWER SYSTEM

SCALE : N.T.S.

January 2026

2106-020-ASP





LEGEND

**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

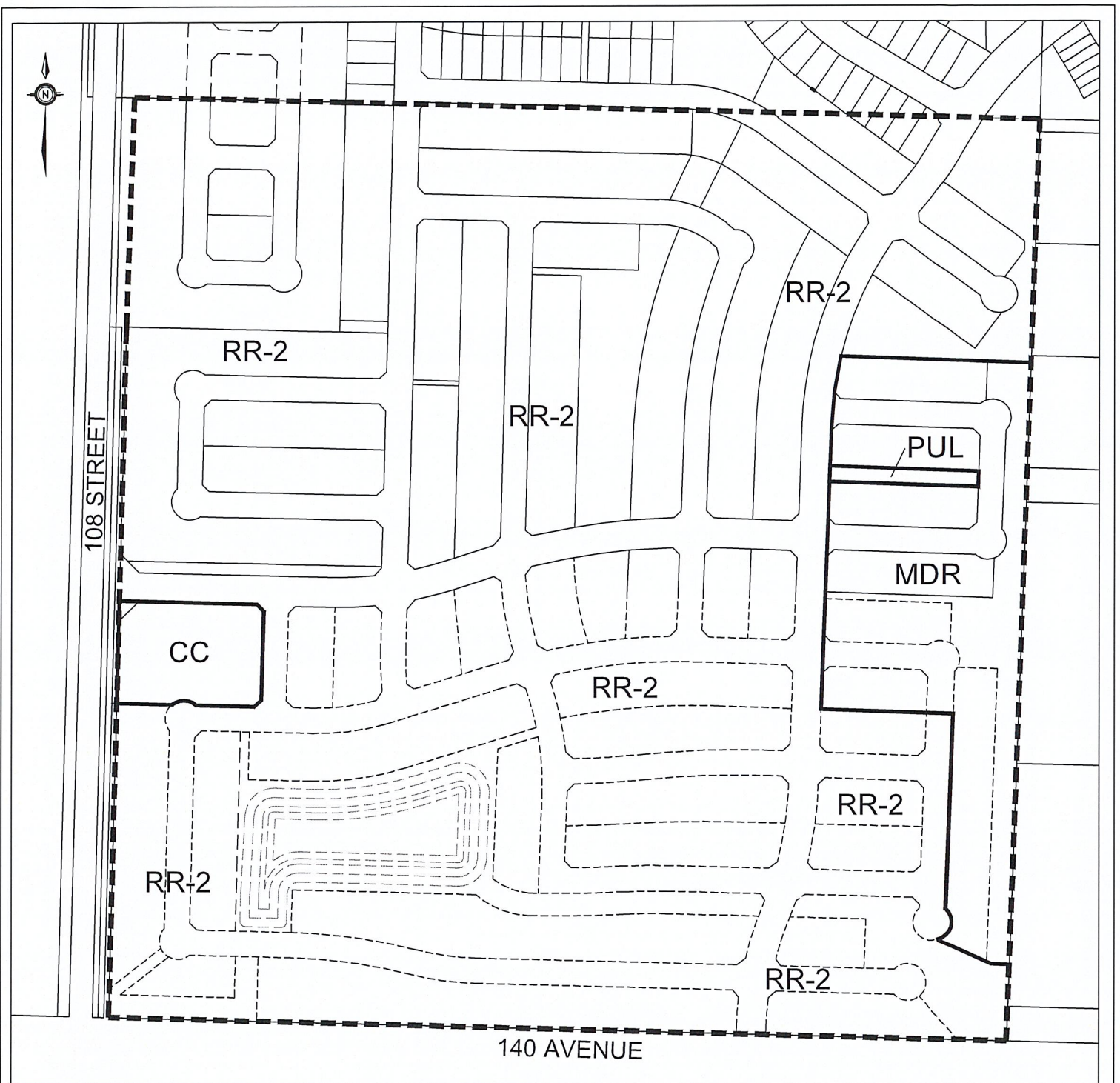
----- PLAN BOUNDARY

MAP 9 - TENTATIVE PHASING

SCALE : N.T.S.

January 2026





LEGEND

**WHISPERING RIDGE AREA STRUCTURE PLAN
COUNTY OF GRANDE PRAIRIE**

- CC** COMPREHENSIVE COMMERCIAL
- MDR** MEDIUM DENSITY RESIDENTIAL
- PUL** PUBLIC UTILITY LOT
- RR-2** RURAL RESIDENTIAL

----- PLAN BOUNDARY

MAP 10 - ZONING

SCALE : N.T.S.

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